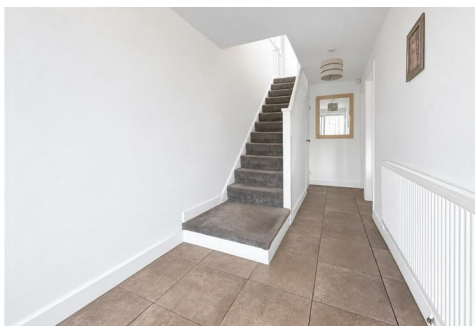




11 John Bold Avenue, Leicester, LE9 4DP

£339,950

An outstanding three-bedroom detached family home, featuring an impressive rear extension. Updated to an excellent standard by the current owners, the property offers modern, beautifully appointed and spacious accommodation comprising: entrance hallway, living room and a superb open-plan living kitchen. To the first floor are three well-proportioned bedrooms and a family bathroom. Outside, the property benefits from a generously sized rear garden and a detached garage, which has been partially converted to create a useful utility room. Viewing is highly recommended!

Entrance Hallway

With stairs off rising to the first floor, door to the living room and a useful storage cupboard.

Living Room

With a window to the front aspect and an opening to the living kitchen.

Living Kitchen

Arguably the hub of the home, this impressive open-plan living kitchen is flooded with natural light from large bi-folding doors, a rear-facing window and Velux rooflights. There is ample space for both living and dining furniture, together with a fabulous brick-built bar - perfect for entertaining. The kitchen itself is fitted with a good range of contemporary wall and base units, providing generous storage and preparation space, together with a range of fitted kitchen appliances.

First Floor

With a window to the side aspect, access to the loft space and doors off to all first floor accommodation.

Bedroom

With a window to the front aspect.

Bedroom

With a window to the rear aspect.

Bedroom

With a window to the front aspect.

Bathroom

With a window to the rear aspect, fitted with a low level w/c, inset wash basin with storage under and a bath with glass screen and a rainfall shower. Heated towel rail / radiator.

Outside

The generously sized rear garden is laid predominantly to lawn, complemented by raised areas of timber decking that provide ideal spaces for outdoor dining and entertaining. A detached garage has been partially converted to create a useful utility room, while retaining valuable storage space to the front. The property also benefits from driveway parking to the front.

Offer Procedure

If you are obtaining a mortgage on this property, one of our qualified mortgage consultants will contact you to qualify the offer on behalf of our vendors.

In order to satisfy money laundering regulations Carlton Estates are required to carry out checks to verify each parties identity.

Mortgages

Independent Mortgage advice is available through this office. If you wish to speak to our Independent Financial Adviser, please call our office to arrange an appointment.

Thinking of Selling?

IF YOU ARE THINKING OF SELLING YOUR PROPERTY LET OUR LOCAL KNOWLEDGE AND EXPERIENCE WORK FOR YOU!

Carlton Estates are an independent and family run estate agency specialising in the local market, having a reputation for quality, service and customer care.

We value your business and understand that selling your home is a major decision.

Our guarantee to you is that through our professionalism and attention to detail in every respect, we will endeavor to ensure the entire process is as straight forward and hassle free as possible.

10 GOOD reasons to choose Carlton Estates:

- * THE local agent
 - * FREE market appraisal
 - * REALISTIC valuations based on local market knowledge
 - * EXTENSIVE advertising for maximum exposure
 - * COMPETITIVE fees
 - * REGULAR client feedback
 - * MORTGAGE advice available
 - * NO sale no fee
 - * ACCOMPANIED viewing's where necessary
 - * INTERNET advertising to include, Rightmove, ONTHEMARKET, FindaProperty and our own www.carltonestates.co.uk
- CALL US NOW ON 0116 284 9636

Notes For Purchasers

While every reasonable effort is made to ensure the accuracy of descriptions and content, we should make you aware of the following guidance or limitations.

(1) MONEY LAUNDERING REGULATIONS Intending purchasers will be asked to produce identification documentation at a later stage and we would ask for your cooperation in order that there will be no delay in agreeing the sale.

(2) These particulars do not constitute part or all of an offer or contract.

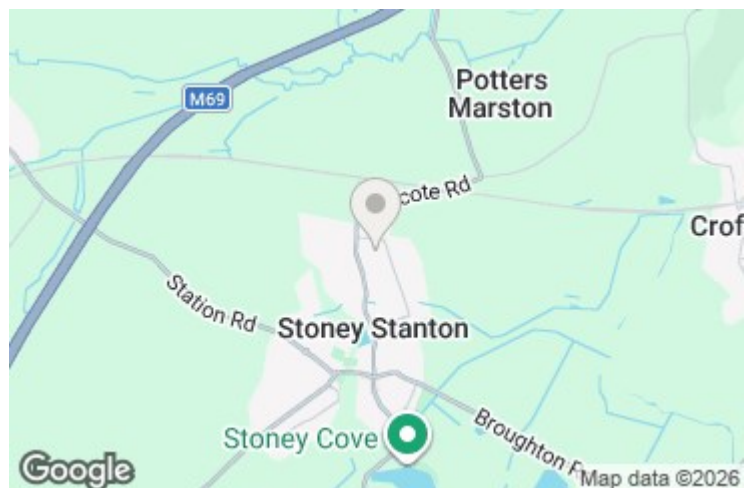
(3) The measurements indicated are supplied for guidance only and as such must be considered incorrect.

(4) Potential buyers are advised to recheck the measurements before committing to any expense.

(5) Carlton Estates (Narborough) Ltd has not tested any apparatus, equipment, fixtures, fittings, or services and it is in the buyer's interests to check the working condition of any appliances.

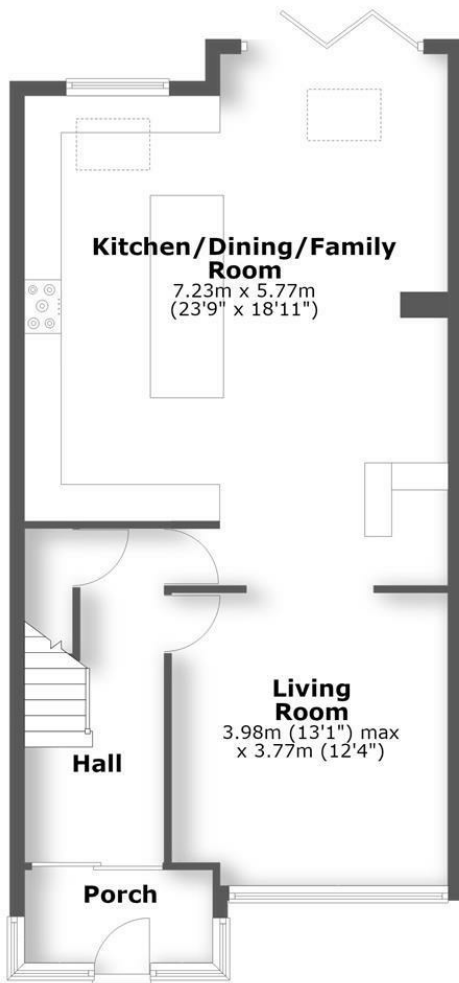
Opening Hours

MONDAY - FRIDAY : 9:00am - 17:30pm SATURDAY : 10:00am - 14:00pm



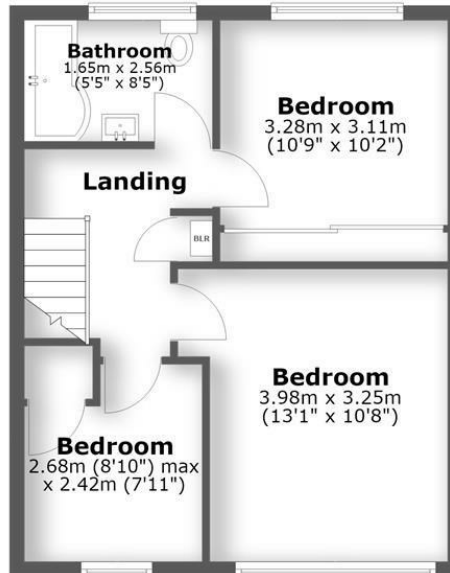
Ground Floor

Approx. 66.4 sq. metres (714.8 sq. feet)



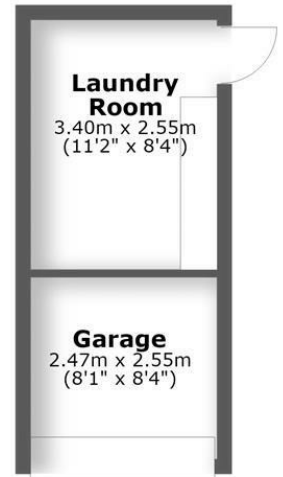
First Floor

Approx. 42.5 sq. metres (457.2 sq. feet)



Second Floor

Approx. 15.2 sq. metres (163.6 sq. feet)



Total area: approx. 124.1 sq. metres (1335.5 sq. feet)



Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	

Environmental Impact (CO ₂) Rating		Current	Potential
Very environmentally friendly - lower CO ₂ emissions			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not environmentally friendly - higher CO ₂ emissions			
England & Wales		EU Directive 2002/91/EC	